

Shrubbery Avenue Conservation Area

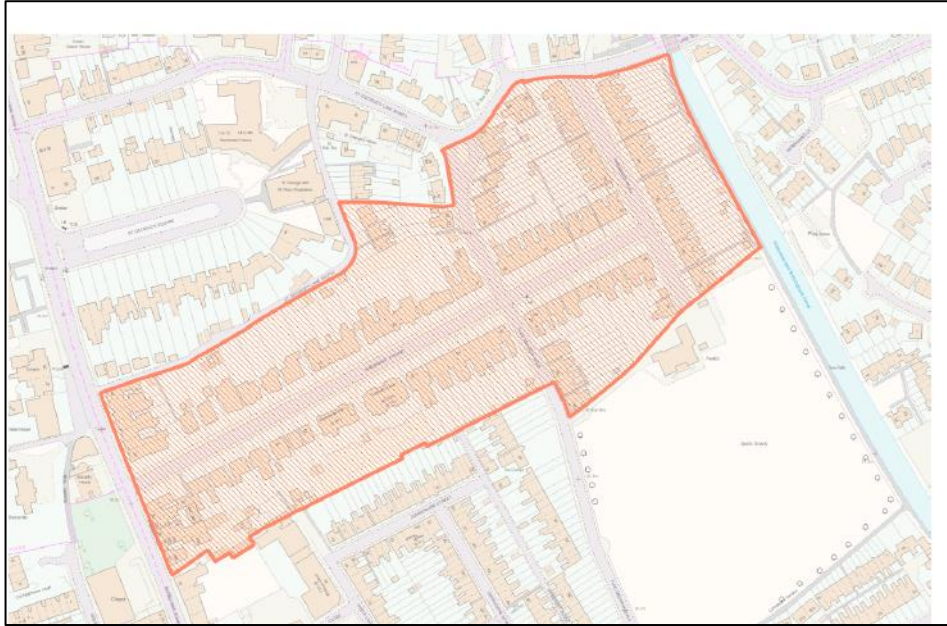
Design Guide

Advice on alterations and repair following the introduction of an Article 4(1) Direction



An Article 4 Direction allows local authorities to restrict permitted development rights in certain areas. These directions can control small-scale change that might gradually erode the character of a conservation area, such as alterations to windows and doors. Where an Article 4 Direction applies, planning permission is required for the specified works.

An Article 4 Direction was introduced in November 2018 following public consultation and notification. The Direction applies to most of the properties in the Shrubbery Avenue Conservation Area (Map 1). This means that additional planning constraints apply and some types of work which did not need planning permission now do.



The Article 4 Direction applies only to the fronts of houses and the sides of houses which face the street, and includes single family houses and houses converted to flats. It seeks to prevent harmful work from taking place to ensure that the Shrubbery Avenue Conservation Area retains its historic character and appearance and remains an attractive and desirable place to live for this and future generations.

This guide explains why the Shrubbery Avenue Conservation Area is special and gives advice on what works are suitable and what will require planning permission. It encourages owners and occupiers to undertake sensitive repairs and to reinstate historic features where they have been lost. Even minor changes to the appearance of houses can destroy the character and appearance of the area, and potentially lower the value of the house. The basic principle underlying all this advice is to:

- Keep your historic property in good repair
- Retain and repair historic features rather than replace them

This guide is intended to help householders, architects, developers, surveyors and others concerned with giving advice to or working on properties within the area covered by the Article 4(1) Direction.

THERE IS CURRENTLY NO FEE FOR APPLICATIONS MADE AS A RESULT OF THE ARTICLE 4(1) DIRECTION.

You should show this guide to your builder.

Alterations which are not carried out in accordance with this Guide may be subject to enforcement action by the council.

The Shrubbery Avenue Conservation Area is an important example of a planned late 19th century suburb following the re-development of the grounds of the Shrubbery Estate. The development followed the simple plan of creating a spine road, Shrubbery Avenue, running west to east, with plots of land being laid out up to the north and south boundaries. The plots were carefully laid out on a hierarchal basis, with larger plots to the west side of the avenue and considerably smaller plots moving east. The conservation area retains much of its charm with a variety of house sizes which depict good examples of Victorian and Edwardian architectural styles and features. Tree-lined streets and mature front gardens provide an important green setting for the built form of the area.

Additional planning controls that have been introduced

The Article 4 (1) Direction applies to the fronts of properties, and the sides of properties which face the street, and includes single family dwelling houses and houses converted to flats. The following works to the fronts of properties, and sides of properties which face a road now need planning permission:

- Any works to enlarge, alter or improve your property including replacing part or all of any window or door, the alteration in shape or size of any window or door openings including any window or door recess or reveal.
- The alteration to any decorative feature forming part of the fabric of the front elevation including their removal including the alteration to any door or window surround, fanlights and canopies.
- Alterations to porches including enclosing the porch or altering its appearance.
- Painting the front of a property if it will differ from the traditional surface treatment, excluding joinery
- Additions or alterations to the roof or chimney, including the installation of a roof-light or solar panel, or the alteration of existing dormers or skylights
- Installation of a flue or soil and vent pipe at the front of a property
- Erecting, altering or demolishing a gate, wall or fence at the front of a property
- Making, enlarging, improving or altering a hard surface at the front of a property

The following sections give more information on each of these categories.

Like-for-like replacement and repair does not need planning permission.

What does like-for-like mean?

If existing features are beyond cost-effective repair you may wish to replace them with like-for-like replacements. Like-for-like replacement and repair does not need planning permission.

Like-for-like are those that:

- Match in materials, colour and surface finish (e.g. bricks and mortar)
- Have the same dimensions and
- Have the same pattern and detailed profile
- Replicate original details such as window catches, handles, pulleys etc, (these can sometimes be transferred from the old feature to the new).

For example, if you are rebuilding sections of boundary wall to match the existing, using matching bricks, matching mortar and matching the profile of the mortar pointing, this will not need planning permission.

Replacement windows should match the glazing bar/frame sill dimensions and way of openings- for example vertically sliding sash windows or side or top-hinged casements can be replaced like-for-like without planning permission.

There is currently no fee for applications made as a result of the article 4(1) direction.

1. Enlargement, alteration or improvement

1.1 Windows and doors

Historic windows and doors can last indefinitely if they are properly maintained by the homeowner with the occasional assistance of a joiner. It is also cheaper in the long run to repair timber features than to replace them because the replacements will have a shorter life span than well maintained historic joinery. Untraditional replacement windows and doors are one of the biggest threats to property values in conservation areas (source: Historic England). The conservation of traditional windows is therefore very important in the context of heritage assets. In addition, original, historic or traditional features often add value to a property.

Any replacement or alteration of traditional windows should be with windows of an identical appearance. The use of traditional materials will be encouraged, however the use of modern materials will be considered if the replacement is identical to the original in terms of detail and



appearance. For example a timber sash window (a) can be changed to a uPVC sash window (b) as long as the profile, detailing and glazing bars match. Windows which do not replicate a sash window would not be acceptable, for example a mock sash window (c) with chunky or 'stuck on' glazing bars (d). Individual cases will be judged on their own merit.

Replacing original or traditional windows on the front elevation (or side elevations where these front the street) now needs planning permission.



In the case of windows which have previously been altered, consideration should be given to restoring a window of a traditional appearance to the property. When replacing modern windows or doors with ones more sympathetic to a historic building, it will be important that the design and detailing of the new windows is correct. Historic photographs may show what the original windows were like, or, if your property is in a terrace, neighbouring properties may still retain the original windows. The use of windows which are of a similar appearance but have a different opening mechanism may be acceptable in some cases.

For example a modern replacement window (e) can be restored to a timber sash window (f) but a uPVC sash window (g) would also be acceptable. *These works would require planning permission.*



1.2 Double glazing

The replacement of historic Victorian or Edwardian windows with untraditional modern alternatives is likely to detract from the appearance and reduce the value of your home so you should think carefully before replacing your original windows. Some traditional glazing patterns (see right) are difficult to replicate with thicker double glazed units, so repair, rather than replacement, should always be first choice. Large paned sash or casement windows may be possible to double glaze, either in the existing frame, or in new joinery, in a way that replicates the appearance of the original "like for like". Installation of secondary glazing is usually preferable to replacement: this can insulate effectively whilst also limiting draughts. Well-designed secondary glazing units can be both discreet and reversible while the installation of double glazed units would usually require replacement of the whole window. New double glazed timber windows may be suitable where these match the original window details and do not result in unsuitably thick frames or glazing bars. *This now needs planning permission.*



1.3 Doors

The original period design of doors is one of the most important features of a property and contributes significantly to the overall character and appearance of the conservation area. Where original timber doors survive in a property they should be retained and repaired where ever possible. Any replacement or alteration of traditional doors should be with doors of an identical appearance. The use of traditional materials will be encouraged, however the use of modern materials will be considered if the replacement is identical to the original in terms of detail and appearance. Where historic door furniture survives this should be retained.

Replacing original or traditional doors on the front elevation (or side elevations where these front the street) now needs planning permission.



Acceptable original, historic and traditional door styles

When replacing modern doors with ones more sympathetic to a historic building, it will be important that the design and detailing of the new doors is correct. If your property is in a terrace, neighbouring properties may still retain the original doors.



Unacceptable replacement door styles

1.4 Decorative glass



Decorative glass in doors and windows has an important ornamental role in addition to letting light into the building; it may be stained, etched and held together with lead 'comes' or combination of all three. It should always be retained and repaired and specialist advice sought. *Its removal and replacement on front elevations (or side elevations where these front the street) needs planning permission and is likely to be resisted.*

1.5 Reducing heat loss through historic windows and doors

Simple measures such as heavy curtains and blinds will retain heat, while mending cracks and eliminating gaps in your windows and doors and fitting draught proof strips and brushes (available from any DIY store) can reduce air loss by as much as 86%. Secondary glazing used with well-fitting shutters can cut heat loss by 60%. When fitting secondary glazing you should ensure that the meeting rails on the secondary glazing units match the location of the glazing bar/meeting rail of the existing windows. *None of these works needs planning permission.* Other measures to reduce energy use, such as roof insulation and turning down the heating by one degree, will also help make savings, as will the installation of a high-efficiency condensing boiler with individual thermostatic controls on each radiator.

1.6 Decorative details



Decorative details often occur around the windows and doors of historic properties, and became very flamboyant in the latter half of the 19th century. They may include columns, mouldings and rubbed brickwork and terracotta decoration, tile hanging, render panels and other ornate brick and terracotta features applied to walls, around windows, and to roofs. Decorative details are very important to the character of Shrubbery Avenue Conservation Area and should be preserved or reinstated where lost or damaged.

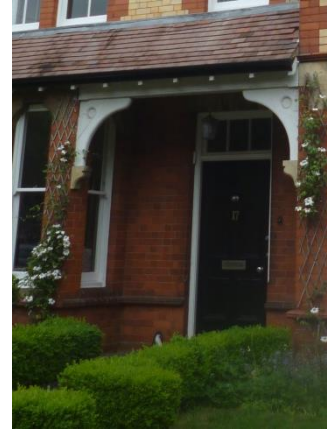
The whole or partial removal of decorative details now needs planning permission and is likely to be resisted.



2. Alterations to porches



Porches are often overlooked but are an integral feature in the architectural design and historic appeal of your property. Finely detailed brick, timber and glass porches are a feature of some properties in the conservation area, particularly some of the



larger homes at the western end of Shrubbery Avenue. A number of buildings display 'open' porches with tiled roofs and brackets.

Adding a new porch or altering existing porches on front elevations (or side elevations where this fronts the street) now needs planning permission. The infilling of open porches will be resisted.

3. Painting the front of a property

3.1 Brick fronted properties

Shrubbery Avenue has many attractive properties fronted in red or yellow brick, which gives a depth of character to the street particularly when combined with traditional details such as painted timber windows and doors and slate or tile roofs. Unpainted brickwork should never be painted over, even in a matching colour.



The painting over of unpainted brickwork on the front elevation (or side elevation where this fronts the street) now needs planning permission and will be resisted.

Where brickwork has been painted, re-painting should always be carried out in a matching colour.

3.2 Rendered or pebble-dash properties

A small number of properties in Shrubbery Avenue are partially rendered or pebble-dashed- this is a key characteristic of Edwardian properties. Where render needs re-painting this should be done with traditional permeable paints in matching paint colours which conform to a traditional palette.



Re-painting render does not need planning permission.

4. Additions and alterations to the roof or chimney



Unaltered roofs and chimneys play an important role in defining the character of the Shrubbery Avenue area. Some of the earlier houses at the western end of Shrubbery Avenue have prominent and decorative roofs, some with projecting bay windows, gables and turrets. The roofs are covered in traditional tile or slate.

It is important to preserve these roof forms, materials and details where they survive as they contribute significantly to the overall character and quality of the area.

Roof materials are particularly important on terraced houses. The consistency in material is a key feature and where new or modern roofing materials have been introduced the effect is one of an interruption to the roof scape. The replacement of traditional slate or clay tile



roofs with concrete interlocking roof tiles has had a negative effect on the character and appearance of some terraces.



The following works now need planning permission on a roof slope or a side roof slope where it faces the street:

- *Re-roofing in a material which differs from the original or existing material*
- *The removal without reinstatement of any decorative details such as decorative ridge tiles*
- *The installation of a rooflight, including a 'flush' conservation style roof light*
- *The installation of a solar panel or other micro-generation equipment*
- *The alteration, demolition or partial demolition of a chimney*

4.1 Solar Panels and Micro-generation Equipment

Solar panels and micro-generation equipment such as wind turbines need planning permission if they are to be installed on the front of a house or the side of a house which faces the road, and so less visible locations should be considered first. Passive energy efficiency measures should always be prioritised over the installation of renewable energy plant- hot water cylinders and pipework should be insulated with smart metering and thermostatic controls introduced to cut energy use. Energy efficient lighting and household appliances can also play a significant part in reducing household carbon emissions.

5. Installation of a flue, chimney or soil and vent pipe

Services such as flues (including for biomass boilers), soil and vent pipes and new chimneys should always be located on the side or rear elevation, so that the smart, public face of the building remains untouched. *These now need planning permission on the front elevation (and sides where these front the street) and will be resisted.*

6. Walls, Railings, Fences, and Hedges



Surviving boundary walls to green front gardens are one of the most noticeable aspects of the Shrubbery Avenue historic character. The traditional treatment of the boundary varies according to the date and style of the house. In some areas elaborate brick, stone and terracotta boundary walls

and gate piers help give the area a particular charm. Some boundary walls have decorative details such as balustrading and terracotta detailing.



The demolition of boundary walls and railings facing the street now needs planning permission and will be resisted.



Where boundary walls have been lost or replaced in non-traditional materials or to a different design residents are encouraged to restore them to their original form. By reinstating front boundary walls where they are lost, residents can restore the attractive qualities of the streetscape for both residents and passers-by.

Weather-struck or bucket-handle pointing is unlikely to be original and is rarely appropriate. Cement mortar for pointing is also likely to be a later addition and can harm historic brickwork. A lime based mortar is encouraged for pointing.

Hedges should be retained and replanted where they are a feature of the streetscape. The like-for-like maintenance and repair of boundaries does not require planning permission.

7. Front Gardens



Green front gardens are vital not only in preserving the attractive character and qualities of the area, but also in providing a wildlife corridor, enhancing biodiversity and reducing flood risk. Planting more soft landscaping- grass, flowers, shrubs and trees- in front gardens, and reinstating it where lost, helps to ensure that Shrubbery Avenue remains an attractive place to live.



Historic and traditional front garden paths are also a feature of Shrubbery Avenue and a key characteristic of the conservation area. Vegetation and tiled paths should be retained and repaired where necessary.

The creation of a hard surface at the front of a house which faces the road, now needs planning permission and will be resisted.



Frequently Asked Questions

What about minor alterations?

Minor changes which do not detract from the character or appearance of your building such as painting your doors or windows, installing a single light to the porch, or fitting a burglar alarm box *do not need planning permission*. Other periodic general maintenance and repairs such as repointing and cleaning *do not need planning permission*, however, when improving houses owners are encouraged to use appropriate methods in order to preserve the character of the area. The basic underlying principle is to keep your historic property in good repair and retain/repair historic features rather than replace them.

If in doubt contact the conservation and heritage team before starting work by email: planning@worchester.gov.uk

Unsure if you need planning permission?

This guide only covers those works which now need planning permission due to the introduction of Article 4(1). To check for other works which might require planning permission such as rear extensions, dormer windows and garden sheds please contact the planning department by email: planning@worchester.gov.uk

For more information on the existing requirement for planning permission please visit <https://www.worcester.gov.uk/do-i-need-planning-permission> or refer to the Planning Portal: www.planningportal.gov.uk

Will I need to pay a fee for planning permission?

Worcester City Council does not charge a fee for any planning application that is required as a result of the Article 4 Direction. All other applications for planning permission still require a fee.

Making a planning application

The City Council actively encourages the use of the [Planning Portal](#) for online submission of Planning Applications. The service is free and registration is easy. Whilst we strongly recommend that you submit your application online via the [Planning Portal](#), we appreciate that in certain circumstances this may not be appropriate, in this instance, you will need to download the appropriate [application form](#).

Contact details:

Development Management
Worcester City Council
The Guildhall
High Street
Worcester
WR1 2EY